

**A
FINANCIAL ANALYSIS
AND
LOAN REQUEST
FOR**

**Construction Funding
of**

**996 Chestnut Street
Gainesville, GA 30501**

**Chestnut Industrial Center, LLC
2857 Bridgeview Drive
Gainesville, GA 30507
(678)410-1569**

Prepared By:

**David A. Derusha
March 11, 2010**

LOAN REQUEST

Structure a loan as followed:

Sale Price:	\$2,600,000.00
Loan Amount:	\$1,800,000.00
Rate:	To be agreed upon.
Terms:	2 Years
Payments:	Monthly interest payments.
Repayment Source:	Cash generated from sale.
Collateral:	996 Chestnut Street Gainesville, GA 30501
Guarantee:	David A. Derusha

CHESTNUT INDUSTRIAL CENTER
Building 'F' PROJECT NO: 2008-002

BUILDING DATA	UNITS	AVERAGE HEIGHT
TOTAL BUILDING SQ.FT.	42004	N/A
OFFICE SQ.FT.	2280	N/A
FOUNDATION SQ.FT.	42004	N/A
BASEMENT PERIMETER	1172	10
TRENCH PERIMETER	470	N/A
EXT. PERIMETER/BRICK	200	30
WINDOW/DR.SQ.FT./BRICK	748	N/A
NUMBER OF WINDOWS/DOORS	17	N/A
NUMBER OF BATHROOMS	4	N/A
TOTAL SALE PRICE	\$2,600,000.00	N/A

Description	Unit	Cost per Unit	Estimated Cost
Permits/Soil-Road:	0 @	\$200.00	\$0.00
Building Permit:	0.20% @	\$2,600,000.00	\$5,200.00
Sewer/Septic:	1 @	\$3,000.00	\$3,000.00
Water/Well:	1 @	\$3,000.00	\$3,000.00
Gas Service:	1 @	\$225.00	\$225.00
Electric Service:	150 @	\$5.33	\$799.50
Builder's Risk:	0.25% @	\$2,600,000.00	\$6,500.00
Bonds:	0 @	\$500.00	\$0.00
Engineering/Survey:	2 @	\$1,000.00	\$2,000.00
Site Clearing/Cleanup:	6 @	\$300.00	\$1,800.00
Excavating:	1 @	\$1,000.00	\$1,000.00
Basement 8"(\$60) 10"(\$65) 12"(\$70) Walls:	1172 @	\$70.00	\$82,040.00
Backfill:	1 @	\$1,000.00	\$1,000.00
Trenching/Block:	470 @	\$6.50	\$3,055.00
Pre-designed Steel Building/Installed:	42004 @	\$15.50	\$651,062.00
Rough Lumber:	2280 @	\$6.50	\$14,820.00
Rough Hardware:	2280 @	\$0.50	\$1,140.00
Rough Carpentry:	2280 @	\$3.00	\$6,840.00
Windows/Doors:	17 @	\$500.00	\$8,500.00
Heating:	2280 @	\$4.00	\$9,120.00
Plumbing:	4 @	\$2,500.00	\$10,000.00
Electrical:	42004 @	\$2.00	\$84,008.00
Electrical Fixtures:	42004 @	\$1.00	\$42,004.00
Brick/Supplies:	39.5 @	\$350.00	\$13,821.05
Mason Labor:	39.5 @	\$350.00	\$13,821.05
Insulation:	2280 @	\$2.00	\$4,560.00
Cement Work/Int.:	42004 @	\$4.70	\$197,418.80
Cement Work/Ext:	14000 @	\$3.50	\$49,000.00
Overhead Doors:	0 @	\$650.00	\$0.00
Drywall:	9127 @	\$1.00	\$9,127.00
Finish Lumber:	2280 @	\$3.00	\$6,840.00
Finish Carpentry:	2280 @	\$2.00	\$4,560.00
Ceramic Tile:	4 @	\$500.00	\$2,000.00
Painting Int/Ext:	2280 @	\$1.50	\$3,420.00
Brick cleaning:	39.5 @	\$40.00	\$1,579.55
Finish Flooring:	2280 @	\$2.00	\$4,560.00
Finish Hardware:	2280 @	\$0.50	\$1,140.00
Finish Grading:	0 @	\$500.00	\$0.00
Landscaping/Irr.	1 @	\$2,500.00	\$2,500.00
Utilities During Constr:	1 @	\$400.00	\$400.00
Sprinkle System	42004 @	\$2.00	\$84,008.00
Insurance/Lia-Comp:	1.5% @	\$667,934.48	\$10,019.02
Interest On Investment:	8.0% @	\$672,943.99	\$53,835.52
Constr. Draw Cost:	0 @	\$150.00	\$0.00
Accounting:	3 @	\$500.00	\$1,500.00
Labor:	5% @	\$1,335,868.95	\$66,793.45
Management Fee:	7% @	\$1,468,016.94	\$102,761.19
Engineering/Architectural	1 @	\$3,500.00	\$3,500.00
Real Estate Comm:	0.0% @	\$2,600,000.00	\$0.00
Land Cost/Site Improvements:	42004 @	\$15.00	\$630,060.00
Property Taxes:	1 @	\$630,060.00	\$10,080.96
Revenue Stamps/Transfer Tax:	1 @	\$2,600,000.00	\$2,600.00
Owner's Title Policy:	1 @	\$500.00	\$500.00
Reserve Capital	1 @	\$3,982.26	\$3,982.26

TOTAL JOB COST: \$2,221,501.34

NET PROFIT \$378,498.66

Tract F of Chestnut Industrial Center

L E G A L D E S C R I P T I O N

All that tract or parcel of land lying and being in Land Lot 150, of the 9th Land District, in the City Of Gainesville, Hall County, Georgia, being shown and delineated as Tract F on a plat of survey for Chestnut Industrial Center, LLC., dated August 1, 2006, last revised January 4, 2008, prepared by Chris M. Patton, Georgia Registered Land Surveyor No. 2647, and being more particularly described as follows:

Beginning at a calculated point, said point being located South 77 degrees 42 minutes 22 seconds East a distance of 1180.08 feet from the centerline intersection of Chestnut Street and Bradford Street;

THENCE South 67 degrees 49 minutes 00 seconds East for a distance of 211.16 feet to a 1/2" rebar pin set;

THENCE South 22 degrees 10 minutes 54 seconds West for a distance of 195.00 feet to a 1/2" rebar pin set;

THENCE South 72 degrees 29 minutes 59 seconds West for a distance of 63.43 feet to a calculated point;

THENCE along a curve to the right having a radius of 474.13 feet, an arc length of 84.20 feet, being subtended by a chord of South 82 degrees 58 minutes 01 seconds West for a distance of 84.09 feet to a calculated point;

THENCE along a curve to the right having a radius of 20.00 feet, an arc length of 39.60 feet, being subtended by a chord of North 35 degrees 13 minutes 13 seconds West for a distance of 33.44 feet to a 1/2" rebar pin set;

THENCE North 68 degrees 29 minutes 57 seconds West for a distance of 57.71 feet to a calculated point;

THENCE North 21 degrees 30 minutes 03 seconds East for a distance of 259.23 feet to a calculated point, being the POINT OF BEGINNING.

Together with and subject to covenants, easements, and restrictions of record.

Said property contains 1.21 acres more or less.

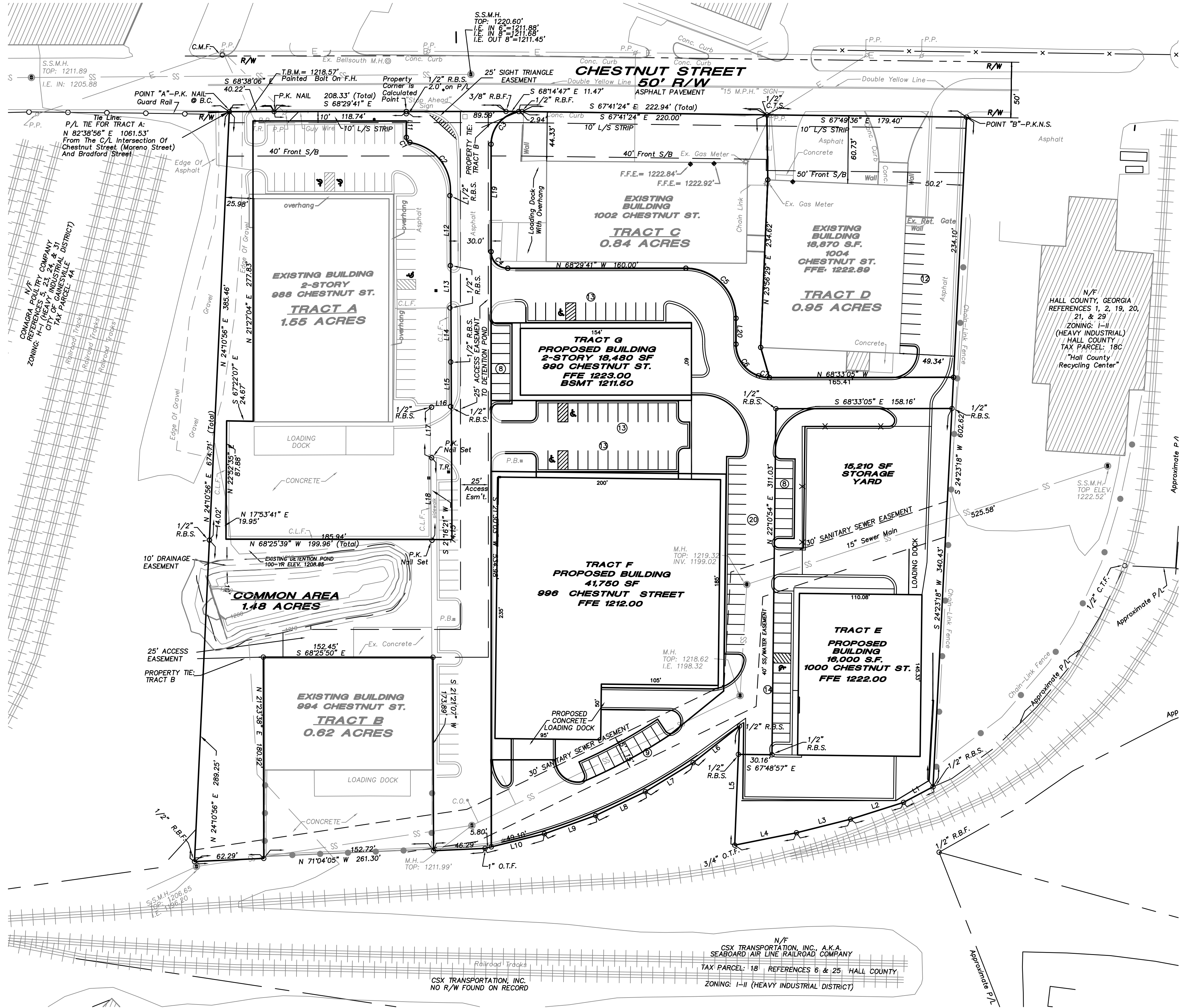
GENERAL NOTES:

1. NOTIFY CITY OF GAINESVILLE INSPECTOR 24 HOURS PRIOR TO BEGINNING EACH PHASE OF CONSTRUCTION.
2. ALL CONSTRUCTION TO CONFORM WITH CITY STANDARDS AND SPECIFICATIONS.
3. PARKING REQUIRED:
OFFICE/ WAREHOUSE: 1 SPACE/ 250 SF OFFICE
1 SPACE/ 1500 SF WAREHOUSE
1 SPACE/ 600 SF WHOLESALE

TRACT E= OFFICE: 4063 SF/ 250 SF X 1 SPACE= 16 SPACES
WHOLESALE: 11,937 SF/ 600 SF X 1 SPACE= 20 SPACES

TRACT F= OFFICE: 2500 SF/ 250 SF X 1 SPACE= 10 SPACES
WAREHOUSE: 39,250 SF/ 1500 SF X 1 SPACE= 26 SPACES

TRACT G= OFFICE: 3696 SF/ 250 SF X 1 SPACE= 15 SPACES
WAREHOUSE: 14,784 SF/ 1500 SF X 1 SPACE= 10 SPACES
TOTAL REQUIRED: OFFICE + WAREHOUSE = 97 SPACES
4. PARKING PROVIDED:
260 SPACES (9'x19') + 14 HC SPACES (9'x19')= 274 SPACES
5. NO OUTDOOR STORAGE
6. NO SPILL LIGHTING WILL BE USED ON THIS SITE
7. ALL DRIVEWAY APRONS SHALL BE INSPECTED WHEN THE CONCRETE FORMS HAVE BEEN INSTALLED AND AFTER THE CONCRETE HAS BEEN POURED.
8. RATIO OF GROSS FLOOR TO TOTAL LOT AREA: (127,410 SF/7.96 ACRES)
36.7% GROSS FLOOR SPACE PER TOTAL LOT AREA.
9. PROPOSED SITE CONSIST OF 84% IMPERVIOUS SURFACE AREA.
10. A PERMIT MUST BE OBTAINED FROM DEPARTMENT OF PLANNING AND ZONING PRIOR TO PLACING ANY SIGNS ON THE PROPERTY.
11. THERE ARE STATE WATERS REQUIRING A 25, 35, OR 100' UNDISTURBED BUFFER ON THE SITE
12. BOUNDARY INFORMATION TAKEN FROM A SURVEY PREPARED BY PATTON-BOYER INC. DATED 09/22/03.
13. THE PROPERTY WILL BE USED AS AN OFFICE/ WAREHOUSE DEVELOPMENT
14. NO VEGETATION OR STRUCTURES EXCEEDING 30" IN HEIGHT SHALL BE LOCATED WITHIN WITHIN THE SIGHT TRIANGLE EASEMENT. THE EASEMENT SHALL PROVIDE RIGHT OF ENTRY TO THE CITY OF GAINESVILLE FOR THE PURPOSE OF REMOVING ANY OBJECT OR VEGETATION THAT RESTRICTS CLEAR SIGHT



UTILITIES PROTECTION CENTER, INC.



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1 - 800 - 282 - 7411
IN ATLANTA: 325 - 5000

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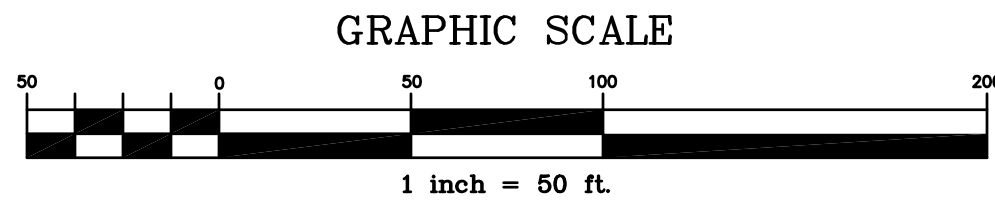
BEFORE YOU DIG...

THE PRESENCE, SIZE, AND LOCATION OF THE EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON INFORMATION OBTAINED FROM PREVIOUS CONSTRUCTION PLANS AND VISIBLE ABOVE GROUND STRUCTURES. THE ACTUAL LOCATION, SIZE, AND TYPE OF MATERIAL MAY VARY UPON EXCAVATION. THERE MAY BE OTHER EXISTING UTILITIES ON THIS SITE THAT ARE NOT SHOWN ON THIS PLAN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO ANY DEMOLITION, EXCAVATION, AND/OR CONSTRUCTION. THE CONTRACTOR IS ADVISED TO CONTACT THE LOCAL UNDERGROUND UTILITY LOCATOR SERVICE PRIOR TO ANY DEMOLITION, EXCAVATION, AND/OR CONSTRUCTION.

OWNER/DEVELOPER:
CHESTNUT INDUSTRIAL CENTER, L.L.C.
2857 BRIDGEVIEW DR
GAINESVILLE, GA 30501
PHONE: 678-410-1569
24-HOUR CONTACT:
MR. DAVID DERUSHA
PHONE: 678-410-1569

7.96 ACRES

DISTURBED AREA= 4.85 ACRES
TAX PARCEL IDENTIFICATION NO.:
01-032-001-018A
00-032-001-018B
01-032-001-004
00-032-001-019
ZONED: H-I
(HEAVY INDUSTRIAL)



REVISIONS

NO.	DATE	REMARKS
1.	1/2/07	REV. BLDG



GSWCC LEVEL II
CERTIFICATION #: 41291

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS AND SHALL REMAIN THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED, PUBLISHED OR USED IN ANY WAY WITHOUT THE PERMISSION OF THE ENGINEER.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE PROCEEDING WITH EACH PHASE OF THE WORK.



CHESTNUT INDUSTRIAL CENTER, LLC
LAND LOT 150 - 9TH DISTRICT
CITY OF GAINESVILLE
HALL COUNTY, GEORGIA

SHEET NUMBER

C2 12

OF

SCALE
1" = 50'

DATE
01/04/05

PROJECT NO.
03-144.09

THIS PROPERTY IS NOT LOCATED WITHIN A
FLOOD HAZARD AREA AS PER FIRM FLOOD
INSURANCE RATE MAP COMMUNITY
PANEL NO. 130466 0187F
EFFECTIVE DATE: SEPTEMBER 29, 2006.

IN MY OPINION, THIS PLAT IS A CORRECT
REPRESENTATION OF THE LAND PLATTED, &
HAS BEEN PREPARED IN CONFORMITY WITH THE
MINIMUM STANDARDS AND REQUIREMENTS OF LAW

THE FIELD DATA UPON WHICH THIS PLAT IS
BASED HAS A CLOSURE PRECISION OF ONE FOOT
IN 16,852 FEET AND AN ANGULAR
ERROR OF 00'00"09" PER ANGLE POINT,
AND WAS ADJUSTED USING LEAST SQUARES
RULE. PARTY: W.W. C.B. C.M.

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND WAS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 610,530 FEET.

THIS SURVEY WAS NOT PREPARED FROM THE
AID OF A TITLE SEARCH AND IS SUBJECT
TO ANY RESTRICTIONS OR EASEMENTS THAT
MIGHT BE RECORDED.

TRACT A: N 8311'28" E 1080.24'
From The C/L Intersection Of Chestnut Street
(Moreno Street) And Bradford Street

TRACT B: S 69°48'38" E 960.34'
From The C/L Intersection Of Chestnut Street
(Moreno Street) And Bradford Street

TRACT C: N 88°122'22" E 1295.37'
From The C/L Intersection Of Chestnut Street
(Moreno Street) And Bradford Street

TRACT D: S 70°33'45" E 1431.58'
From The C/L Intersection Of Chestnut Street
(Moreno Street) And Bradford Street

TRACT E: S 78°107'07" E 1441.70'
From The C/L Intersection Of Chestnut Street
(Moreno Street) And Bradford Street

TRACT F: S 77°42'22" E 1180.08'
From The C/L Intersection Of Chestnut Street
(Moreno Street) And Bradford Street

TRACT G: S 83°57'59" E 1208.65'
From The C/L Intersection Of Chestnut Street
(Moreno Street) And Bradford Street

COMMON AREA "A" AND COMMON AREA "B" S
From The C/L Intersection Of Chestnut Street
(Moreno Street) And Bradford Street

AN UNDISTURBED VEGETATIVE BUFFER, ADJACENT TO ALL RUNNING STREAMS WILL BE LEFT AND MAINTAINED. THE BUFFER IS TO BE MEASURED FROM THE TOP EDGE OF THE WATERS BANK.

TO THE BEST OF MY KNOWLEDGE, THIS SITE DOES NOT CONTAIN WETLANDS. NO FORMAL WETLANDS DELINEATION HAS PERFORMED ON THIS SITE.

1. DEED BOOK 1469, PAGES 81-82
2. PLAT BY PATTON-PLESS & ASSOCIATES, DATED MARCH 4, 1967, 2.411 ACRES.
3. DEED BOOK 2735, PAGE 102
4. PLAT BOOK 63, PAGE 147
5. DEED BOOK 547, PAGES 91-94
6. DEED BOOK 261, PAGES 472-473
7. DEED BOOK 3950, PAGES 416-418
8. DEED BOOK 935, PAGES 265-266
9. DEED BOOK 658, PAGES 489-491
10. PLAT BY PATTON-PLESS & ASSOCIATES, DATED MARCH 4, 1967, 2.598 ACRES.
11. PLAT BY SAVAGE & ASSOCIATES, DATED MARCH 25, 1999, 2 TRACTS, 4.015 ACRES TOTAL
12. DEED BOOK 3950, PAGES 419-421
13. DEED BOOK 785, PAGES 315-318
14. DEED BOOK 3887, PAGES 659-662
15. PLAT BY PATTON-PLESS & ASSOCIATES, DATED MAY 11, 1966, 3.995 ACRES.
16. DEED BOOK 601, PAGE 459
17. DEED BOOK 1075, PAGE 197
18. PLAT BY FARLEY-COLLINS ASSOCIATES, DATED 12-29-81, REVISED 7-20-82, 0.956 ACRES
19. DEED BOOK 726, PAGES 477-480
20. DEED BOOK 702, PAGES 129-130
21. DEED BOOK 1169, PAGES 139-143
22. DEED BOOK 358, PAGES 441-443
23. DEED BOOK 314, PAGES 71-72 A
24. DEED BOOK 263, PAGES 429-432
25. PLAT BY PATTON-PATTON & ASSOCIATES, DATED FEBRUARY 3, 1960, 34.85 ACRES.
26. DEED BOOK 1075, PAGES 161-166
27. DEED BOOK 333, PAGES 173-176
28. DEED BOOK 333, PAGES 153-156
29. DEED BOOK 350, PAGES 108-112
30. DEED BOOK 391, PAGES 227-229
31. DEED BOOK 1297, PAGES 86-87
32. DEED BOOK 350, PAGES 149-152
33. DEED BOOK 496, PAGES 363-364
34. DEED BOOK 606, PAGES 403-405
35. DEED BOOK 549, PAGES 576-577
36. DEED BOOK 3328, PAGES 328-329
37. DEED BOOK 233, PAGES 219-220
38. DEED BOOK 5748, PAGES 154-158

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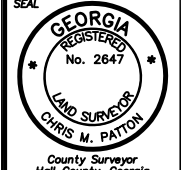
CURRENT CITY OF GAINESVILLE ZONING:
HEAVY INDUSTRIAL DISTRICT (H-1)
SETBACKS:
FRONT: 40'
SIDE: 0'
REAR: 0'

LEGE

*P.P.	POWER POLE
*S.P.	SERVICE POLE
*I.P.F.	IRON PIN FOUND
*C.T.F.	CRIMPED TOP PIN FOUND
*R.B.F.	REBAR PIN FOUND
*R.B.S.	REBAR PIN SET
*O.T.F.	OPEN TOP FOUND
*C.M.F.	CONCRETE MONUMENT FOUND
P/L	PROPERTY LINE
R/W	RIGHT OF WAY
N/F	NOW OR FORMERLY
C/L	CENTER LINE
☙F.H.	FIRE HYDRANT
C.M.P.	CORRUGATED METAL PIPE
R.C.P.	REINFORCED CONCRETE PIPE
C.B.	CATCH BASIN
L/S	LANDSCAPE STRIP
C.L.F.	CHAIN LINK FENCE

- T.R. — TELEPHONE RISER
- — ELECTRICAL LINE
- — TELEPHONE CABLE
- M.H. — STORM DRAIN MANHOLE
- D.I. — DROP INLET
- P.I.V. — POST INDICATOR VALVE
- G.V. — GATE VALVE
- W.M. — WATER METER
- E.P. — EDGE OF PAVEMENT
- B.C. — BACK OF CURB
- — WATER MAIN
- D.I.P. — DUCTILE IRON PIPE
- J.B. — JUNCTION BOX
- — SANITARY SEWER M.H.
- H.D.P.E. — HIGH DENSITY POLYETHYLENE
- — CLEAN OUT
- W.V. — WATER VALVE
- H.W. — HEAD WALL
- P.K.N.S. — P. K. NAIL SET

REVISIONS:		REVISIONS:	
DATE	COMMENTS	DATE	COMMENTS
08-07-06	PROPERTY TIES	Revised Survey Dates: January 31, 2008 February 1, 2008 February 1, 2008 January 4, 2008	Added Tract E, Tract F, Tract G, Tract H, Tract I, Common Area
Revised Survey Dates: July 26, 2007 July 26, 2007 July 30, 2007	Revised Tract A and Common Area Averages		
Revised Plot Dates: August 21, 2007	Revised Tract A and Common Area Averages		



Part-ton -
Boyer, Inc.
LAND SURVEYORS &
CIVIL ENGINEERS
509 ATLANTA HIGHWAY
GAINESVILLE, GEORGIA 30601
(877) 801-2461
PHONE (770) 532-1492
FAX (770) 532-1995

FINAL PLAT FOR:

CHESTNUT INDUSTRIAL CENTER, LLC

LOCATED IN:

GAINESVILLE G.M.D. 411 - LAND LOT 150 - 9TH LAND DISTRICT
CITY OF GAINESVILLE, HALL COUNTY, GEORGIA

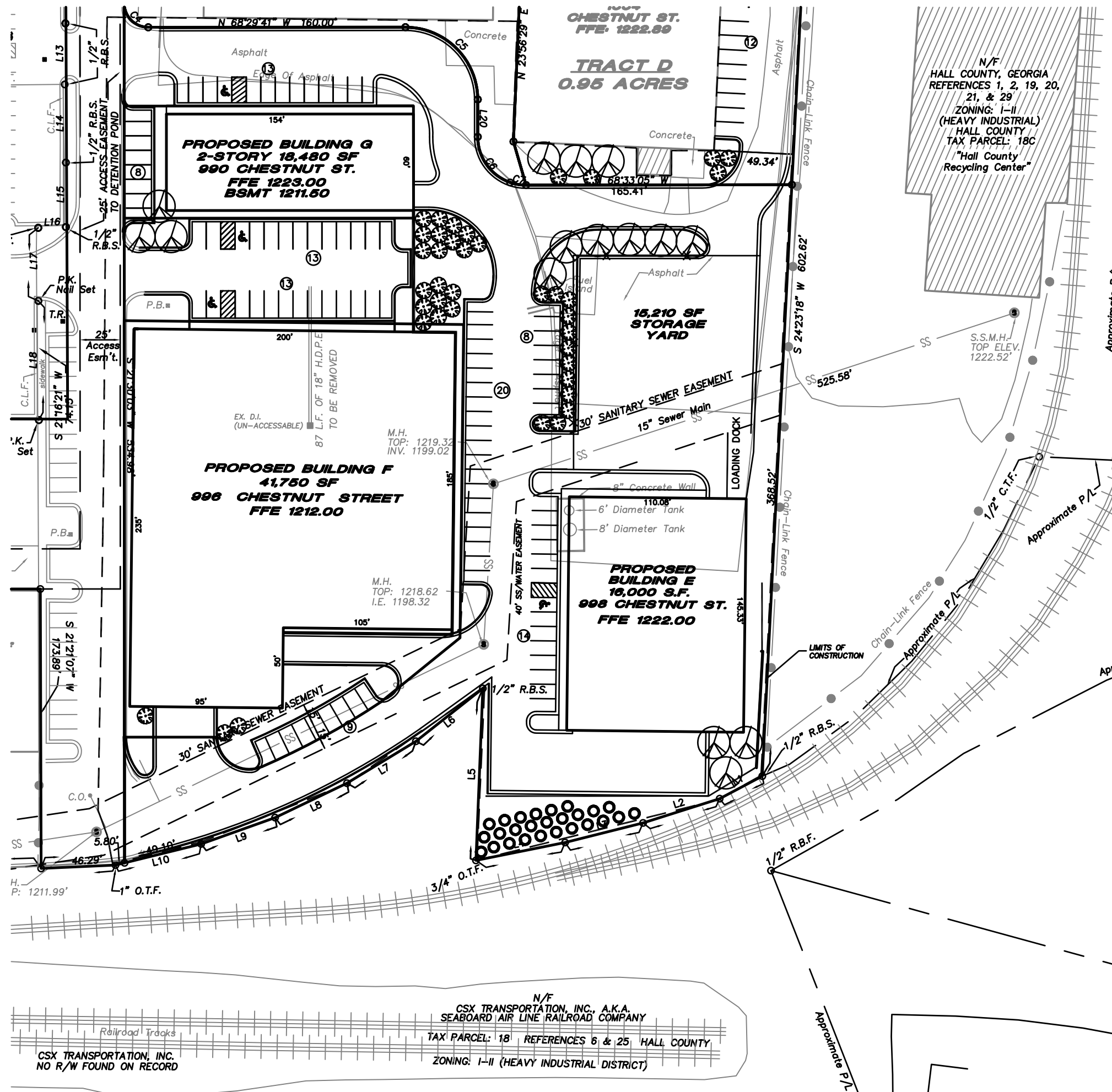
SHEET NUMBER:	
1	OF 1
P.M.: CMP	
FILE NAME: 03-144.02 (1-03-2008)REV.	
SCALE: 1" = 50'	
SURVEY DATE: AUGUST 14, 2003	
PLAT DATE: AUGUST 1, 2006	
PROJECT NO.: 03-144	

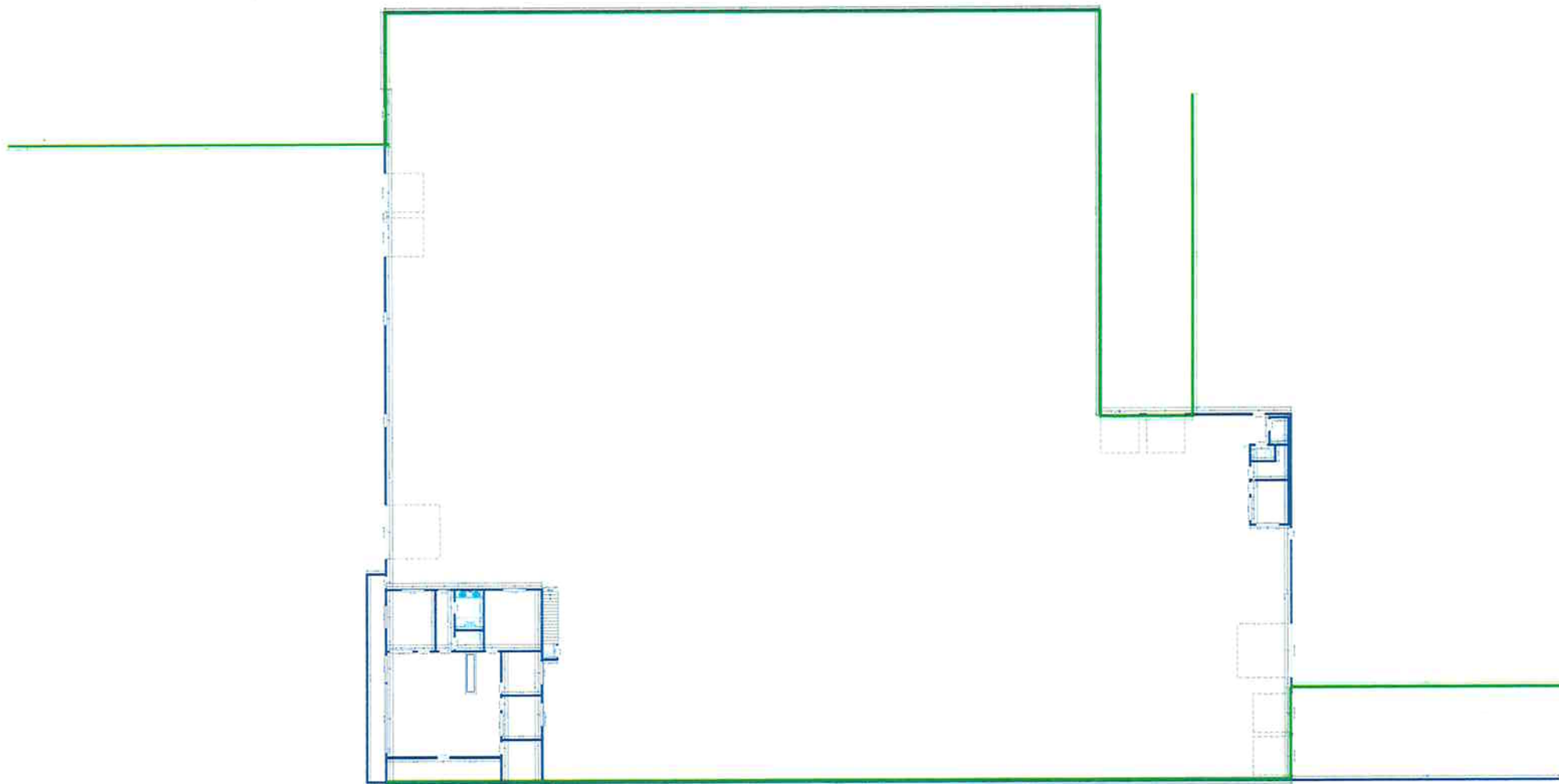
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**909 ATLANTA HIGHWAY
GAINESVILLE, GEORGIA 30501
PHONE (770) 532 - 6492
FAX (770) 532 - 1995**

SITE PLAN
FOR
CHESTNUT INDUSTRIAL CENTER, LLC
LAND LOT 150 – 9TH DISTRICT
CITY OF GAINESVILLE
HALL COUNTY, GEORGIA



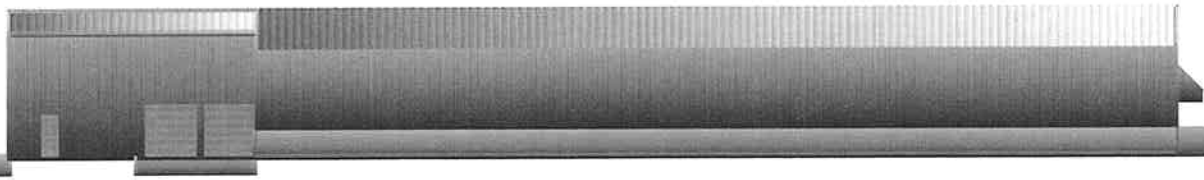




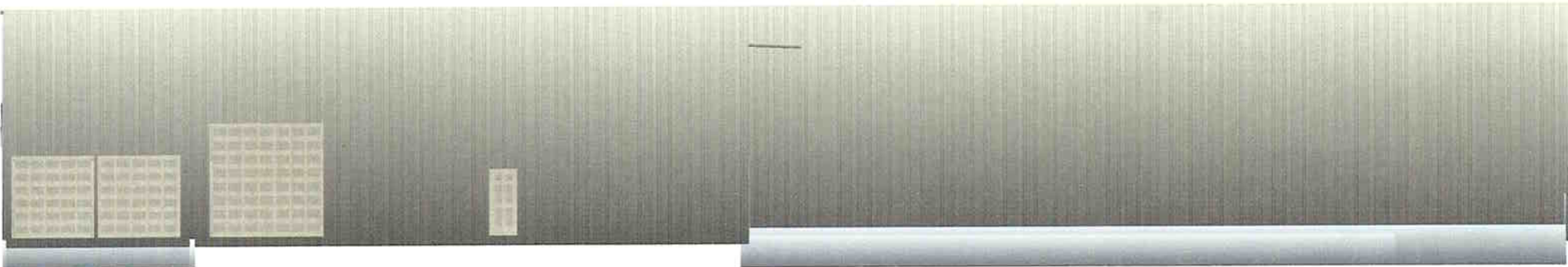
FRONT ELEVATION



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION



REAR ELEVATION