

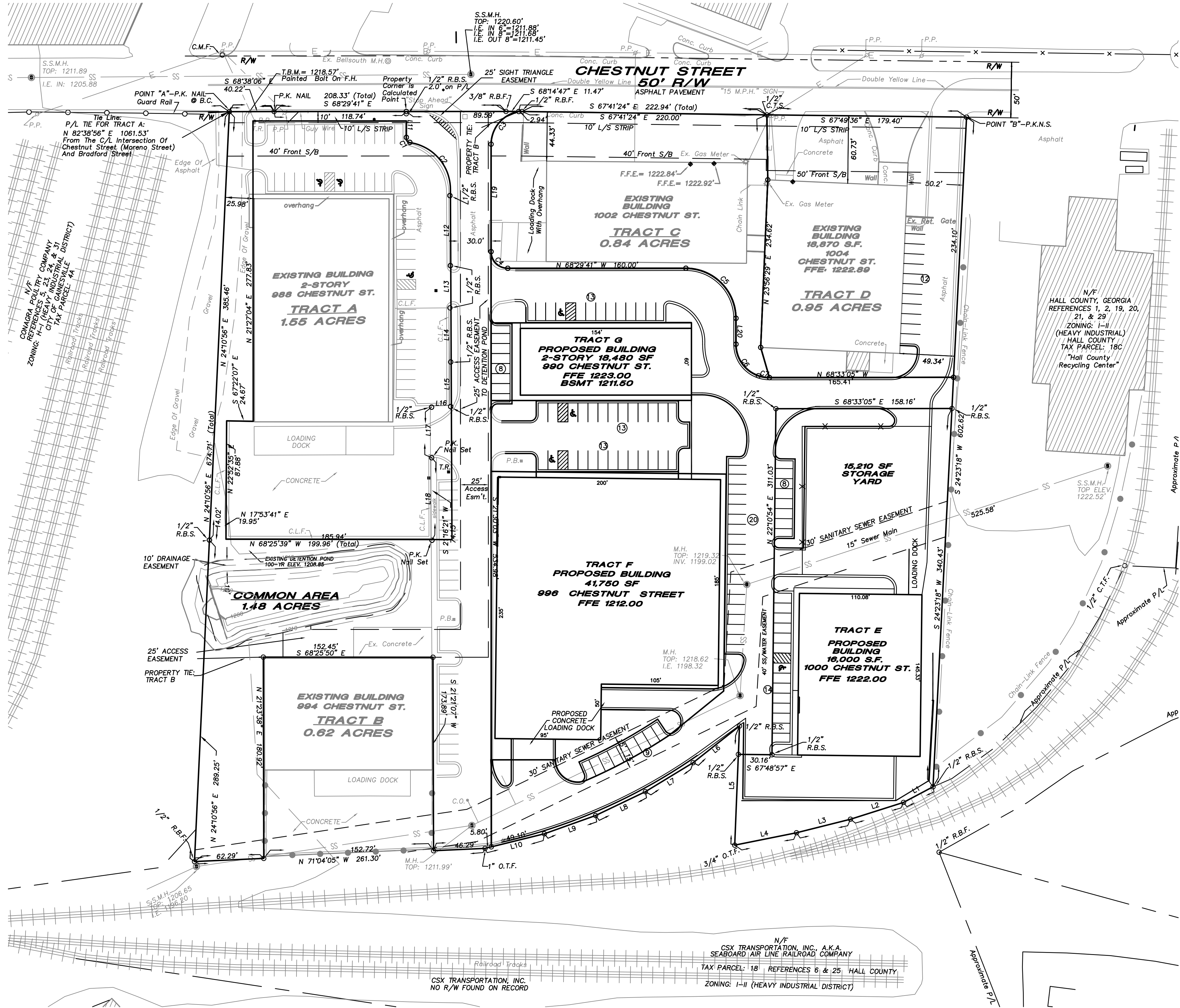
GENERAL NOTES:

1. NOTIFY CITY OF GAINESVILLE INSPECTOR 24 HOURS PRIOR TO BEGINNING EACH PHASE OF CONSTRUCTION.
2. ALL CONSTRUCTION TO CONFORM WITH CITY STANDARDS AND SPECIFICATIONS.
3. PARKING REQUIRED:
OFFICE/ WAREHOUSE: 1 SPACE/ 250 SF OFFICE
1 SPACE/ 1500 SF WAREHOUSE
1 SPACE/ 600 SF WHOLESALE

TRACT E= OFFICE: 4063 SF/ 250 SF X 1 SPACE= 16 SPACES
WHOLESALE: 11,937 SF/ 600 SF X 1 SPACE= 20 SPACES

TRACT F= OFFICE: 2500 SF/ 250 SF X 1 SPACE= 10 SPACES
WAREHOUSE: 39,250 SF/ 1500 SF X 1 SPACE= 26 SPACES

TRACT G= OFFICE: 3696 SF/ 250 SF X 1 SPACE= 15 SPACES
WAREHOUSE: 14,784 SF/ 1500 SF X 1 SPACE= 10 SPACES
TOTAL REQUIRED: OFFICE + WAREHOUSE = 97 SPACES
4. PARKING PROVIDED:
260 SPACES (9'x19') + 14 HC SPACES (9'x19')= 274 SPACES
5. NO OUTDOOR STORAGE
6. NO SPILL LIGHTING WILL BE USED ON THIS SITE
7. ALL DRIVEWAY APRONS SHALL BE INSPECTED WHEN THE CONCRETE FORMS HAVE BEEN INSTALLED AND AFTER THE CONCRETE HAS BEEN POURED.
8. RATIO OF GROSS FLOOR TO TOTAL LOT AREA: (127,410 SF/7.96 ACRES)
36.7% GROSS FLOOR SPACE PER TOTAL LOT AREA.
9. PROPOSED SITE CONSIST OF 84% IMPERVIOUS SURFACE AREA.
10. A PERMIT MUST BE OBTAINED FROM DEPARTMENT OF PLANNING AND ZONING PRIOR TO PLACING ANY SIGNS ON THE PROPERTY.
11. THERE ARE STATE WATERS REQUIRING A 25, 35, OR 100' UNDISTURBED BUFFER ON THE SITE
12. BOUNDARY INFORMATION TAKEN FROM A SURVEY PREPARED BY PATTON-BOYER INC. DATED 09/22/03.
13. THE PROPERTY WILL BE USED AS AN OFFICE/ WAREHOUSE DEVELOPMENT
14. NO VEGETATION OR STRUCTURES EXCEEDING 30" IN HEIGHT SHALL BE LOCATED WITHIN WITHIN THE SIGHT TRIANGLE EASEMENT. THE EASEMENT SHALL PROVIDE RIGHT OF ENTRY TO THE CITY OF GAINESVILLE FOR THE PURPOSE OF REMOVING ANY OBJECT OR VEGETATION THAT RESTRICTS CLEAR SIGHT



UTILITIES PROTECTION CENTER, INC.



Call FREE
THROUGHOUT GEORGIA
1 - 800 - 282 - 7411
IN ATLANTA: 325 - 5000

THREE WORKING DAYS BEFORE YOU DIG
ITS THE LAW

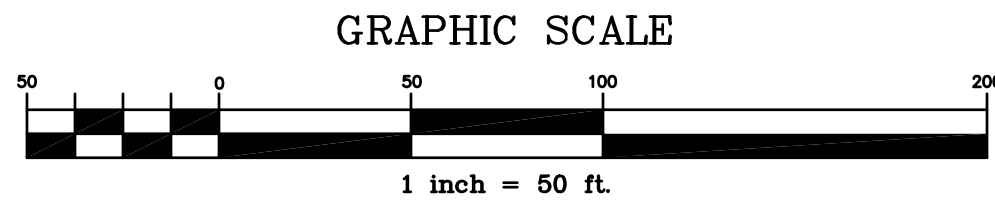
BEFORE YOU DIG...

THE PRESENCE, SIZE, AND LOCATION OF THE EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON INFORMATION OBTAINED FROM PREVIOUS CONSTRUCTION PLANS AND VISIBLE ABOVE GROUND STRUCTURES. THE ACTUAL LOCATION, SIZE, AND TYPE OF MATERIAL MAY VARY UPON EXCAVATION. THERE MAY BE OTHER EXISTING UTILITIES ON THIS SITE THAT ARE NOT SHOWN ON THIS PLAN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO ANY DEMOLITION, EXCAVATION, AND/OR CONSTRUCTION. THE CONTRACTOR IS ADVISED TO CONTACT THE LOCAL UNDERGROUND UTILITY LOCATOR SERVICE PRIOR TO ANY DEMOLITION, EXCAVATION, AND/OR CONSTRUCTION.

OWNER/DEVELOPER:
CHESTNUT INDUSTRIAL CENTER, L.L.C.
2857 BRIDGEVIEW DR
GAINESVILLE, GA 30501
PHONE: 678-410-1569
24-HOUR CONTACT:
MR. DAVID DERUSHA
PHONE: 678-410-1569

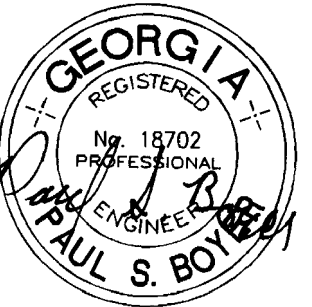
7.96 ACRES

DISTURBED AREA= 4.85 ACRES
TAX PARCEL IDENTIFICATION NO.:
01-032-001-018A
00-032-001-018B
01-032-001-004
00-032-001-019
ZONED: H-I
(HEAVY INDUSTRIAL)



REVISIONS

NO.	DATE	REMARKS
1.	1/2/07	REV. BLDG



GSWCC LEVEL II
CERTIFICATION #: 41291

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS AND SHALL REMAIN THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED, PUBLISHED OR USED IN ANY WAY WITHOUT THE PERMISSION OF THE ENGINEER.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE PROCEEDING WITH EACH PHASE OF THE WORK.

Patton-Boyer, Inc.
SURVEYORS & CIVIL ENGINEERS
1902
909 ATLANTA HIGHWAY
GAINESVILLE, GEORGIA 30501
PHONE: (770) 532-1122
FAX: (770) 532-1995

CHESTNUT INDUSTRIAL CENTER, LLC
LAND LOT 150 - 9TH DISTRICT
CITY OF GAINESVILLE
HALL COUNTY, GEORGIA

SHEET NUMBER

C2 12

OF

SCALE
1" = 50'

DATE
01/04/05

PROJECT NO.
03-144.09